

PART OF N.E. 1/4 SEC. 12, S.E. 1/4 SEC. 1, T.7N, R.2E, & S.W. 1/4 SEC. 6, N.W. 1/4 SEC. 7, T.7N, R.3E, S.L.B. & M.

SUNRIDGE SUBDIVISION NO. 2

50

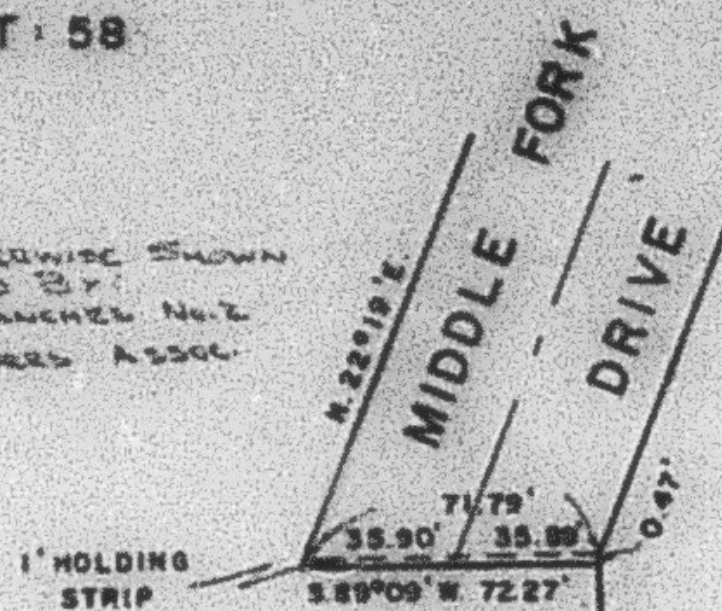
UNIT NO. 2
LOTS C,D&E
IN WEBER COUNTY
SCALE 1"=200'

TAXING UNIT 58

PREFIX 23-050

SEE PAGE 52

EXCEPT WHERE OTHERWISE SHOWN
ALL LOTS ARE OWNED BY
SUNRIDGE RANCHES, INC.
PROPERTY OWNERS ASSOC.



DETAIL 'C'

A = 59°28' 28"
R = 1072.36'
L = 99.03'
LC = N 24°57'44"E
98.99'

S 34°06'E 224.64'
A = 69°50'
R = 132.44' LC = S 0°49'W 151.61'
L = 151.42'

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S 35°44'W 60.87'
A = 2°31'55" L = 10.44'
R = 236.23' LC = S 32°28'03"W 10.44'
N 89°09'E 1140.73'

COMMON AREA 'C'

0001
202.14 AC ±

COMMON AREAS IN UNITS 1 & 2
ARE TO BE USED JOINTLY BY
THE HOMEOWNERS ASSOCIATION
OF LOTS 1 THRU 38

SEE PAGE 12-1

1' HOLDING STRIP
SEE DETAIL 'C'

COMMON
AREA
'D'

0002

SEE

BEAVER WAY

PAGE

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CREEK

ROAD

PAGE

SEE

ASPEN

- * 1 - A = 69°50' L = 130.95' R = 157.44' T = 75.00'
- * 2 - A = 21°40'15" L = 98.81' R = 261.23' T = 50.00'
- * 3 - A = 70°35'45" L = 130.52' R = 109.90' T = 75.00'
- * 4 - N 22°19'E 370.55'
- * 5 - S 34°06'E 173.91'
- * 6 - S 35°44'W 60.87'
- * 7 - S 14°03'45"W 213.70'
- * 8 - S 36°32'E 159.55'
- * 9 - S 31°30'E 170.00'
- * 10 - A = 104°03'13" L = 141.75' R = 78.05' T = 100.00'
- * 11 - A = 12°42'53" L = 23.74' R = 108.97' T = 80.00'

FROM ORIG. O&D. PLAT
* NOT TO BE CONFUSED WITH NUMBERING
SYSTEM USED ON ORIG. O&D. PLAT

SEE PAGE 47

DETAIL 'B'

SEE PAGE 13

EAST 1/4 COR. SEC.
12, T.7N, R.2E.

FOR COMPLETE ENG. DATA
SEE ORIG. O&D. PLAT IN
BOOK 17, PAGE 28

SEE PAGE 13

W.F.J. 2-72